



ALDEN CENTRAL SCHOOL DISTRICT

WORKING WITH
YOUNG + WRIGHT ARCHITECTURAL

CBC Presentation

June 16, 2022



AGENDA FOR TODAY

- **CONSTRUCTION UPDATE & HISTORY**
 - Renovations 2014
 - Vision 20/20
 - Capital Outlay Projects
 - District Maintenance Projects
- **BUILDING CONDITIONS SURVEY**
- **LONG-TERM PLANNING**
- **QUESTIONS & DISCUSSION**

CONSTRUCTION UPDATE & HISTORY

RENOVATIONS 2014 – High School



HS Main Office Entrance



HS Main Office



HS Cafeteria

RENOVATIONS 2014 – IMS



RENOVATIONS 2014 – IMS



IMS Stairwell Entry and Landscaping

RENOVATIONS 2014 – IMS



RENOVATIONS 2014 – Primary School



- **Other Work Included:**
 - **VoIP Phones**
 - **Roof replacements at HS, IMS, and BG**
 - **Renovation of HS Gym Locker Rooms**
 - **Replacement of Football Field Lighting**
 - **Replacement of IMS Boilers**
 - **Masonry & EIFS Restoration at PS**

VISION 20/20 – Phase 1



ALDEN CSD

VISION 20/20 – Phase 1

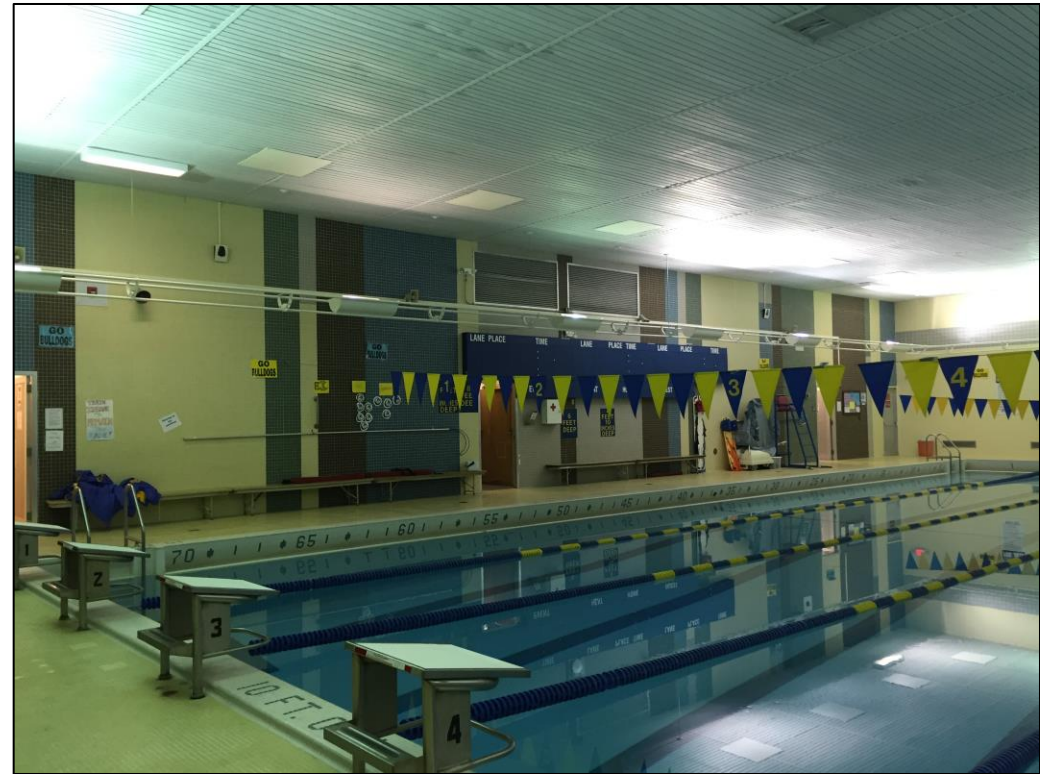


ALDEN CSD

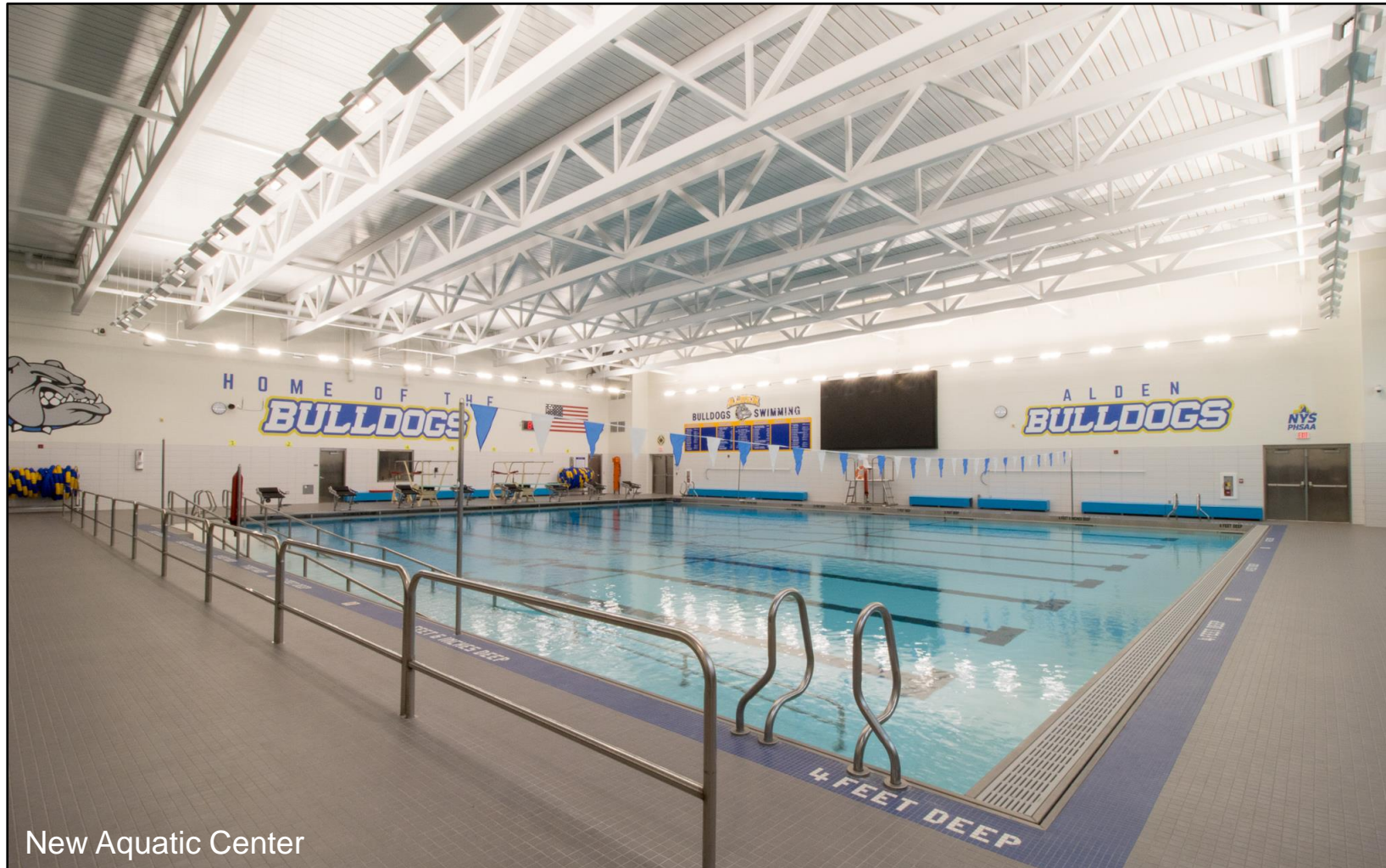
VISION 20/20 – Phase 1



VISION 20/20 – Phase 2



VISION 20/20 – Phase 2



New Aquatic Center

ALDEN CSD

Vision 20/20 – Phase 2



VISION 20/20 – Phase 2



VISION 20/20 – Phase 2



ALDEN CSD

VISION 20/20 – Phase 2



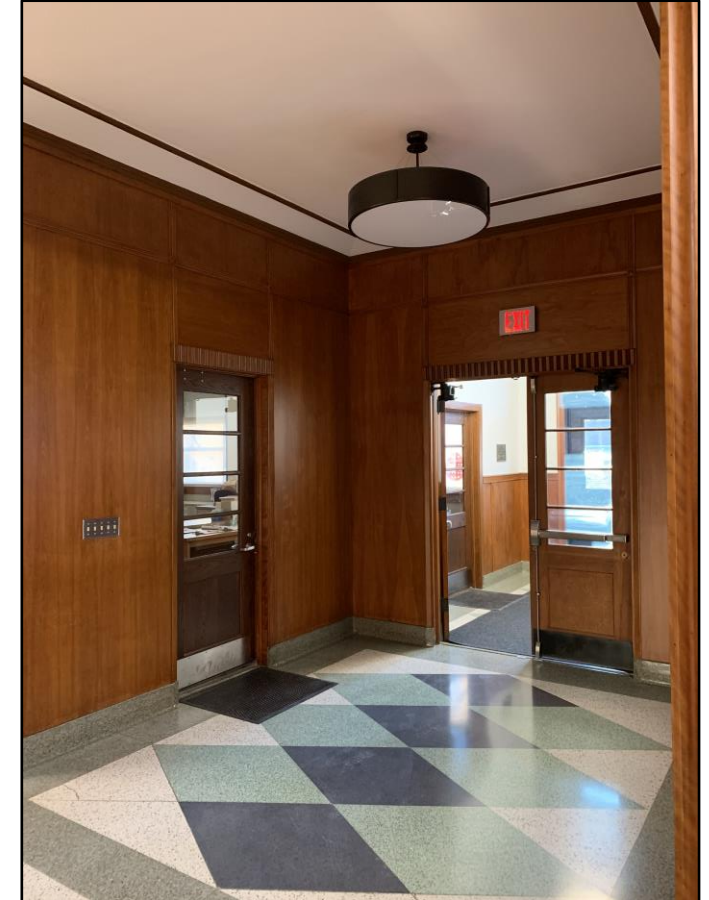
New Aquatic Center



VISION 20/20 – Phase 3



VISION 20/20 – Phase 3



VISION 20/20 – Phase 3



VISION 20/20 – Phase 3



Renovated IMS Science Rooms

VISION 20/20 – Phase 3



VISION 20/20 – Phase 3



New BG Fuel Tanks and Paving

VISION 20/20 – Phase 3



- **Other Work Included:**
 - **Replace exhaust fans and rooftop mechanical equipment**
 - **Replace air conditioning systems at PS**
 - **Masonry & EIFS repairs and replacement at PS**

VISION 20/20 – Phase 4



VISION 20/20 – Phase 4



VISION 20/20 – Phase 4



HS Athletic Entrance

VISION 20/20 – EPC Work

Lighting Retrofits and Replacements:

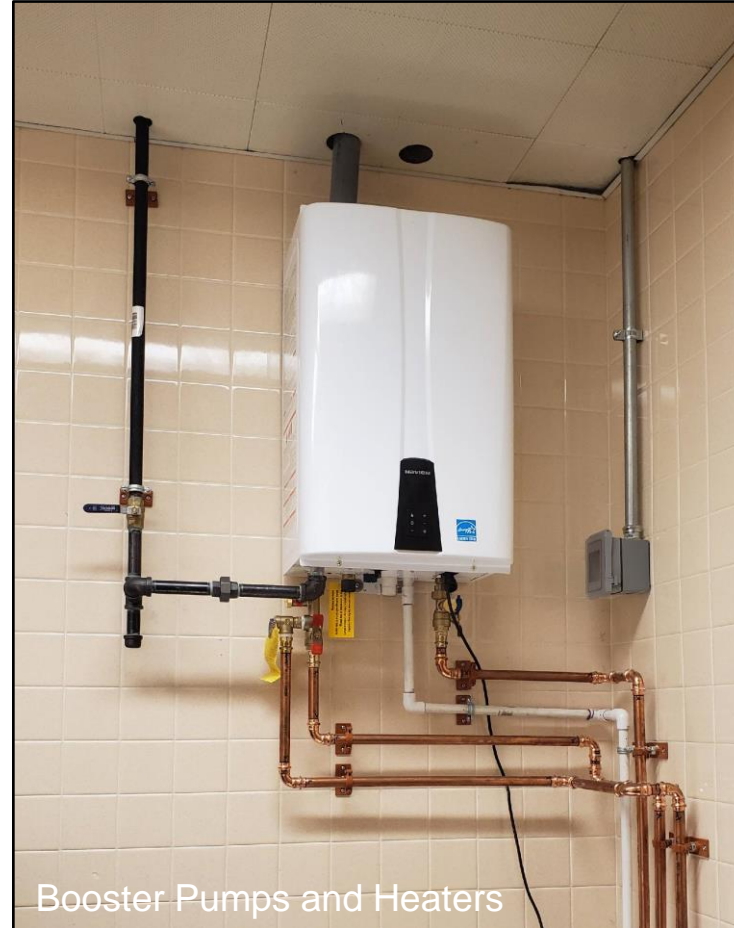


VISION 20/20 – EPC Work

Boiler Replacements and Water Heaters:



HS & PS Boilers



Booster Pumps and Heaters

CAPITAL OUTLAY PROJECTS



IMS Entrance-Near Playground
2015



IMS Entrance on Crittenden
2016



HS Main & Athletic Entrance
2017

CAPITAL OUTLAY PROJECTS



HS Ceiling Replacements
2018



IMS Stairwell Doors
2019

CAPITAL OUTLAY PROJECTS



IMS Corridor Doors
2020



BG Masonry Restoration
2021

CAPITAL OUTLAY PROJECTS



HS Corridor Renovations
2022

DISTRICT MAINTENANCE PROJECTS



Athletic Complex Concessions and Bathrooms

DISTRICT MAINTENANCE PROJECTS



HS Gym Floor Refinishing

DISTRICT MAINTENANCE PROJECTS



Baseball Field Drainage



DISTRICT MAINTENANCE PROJECTS



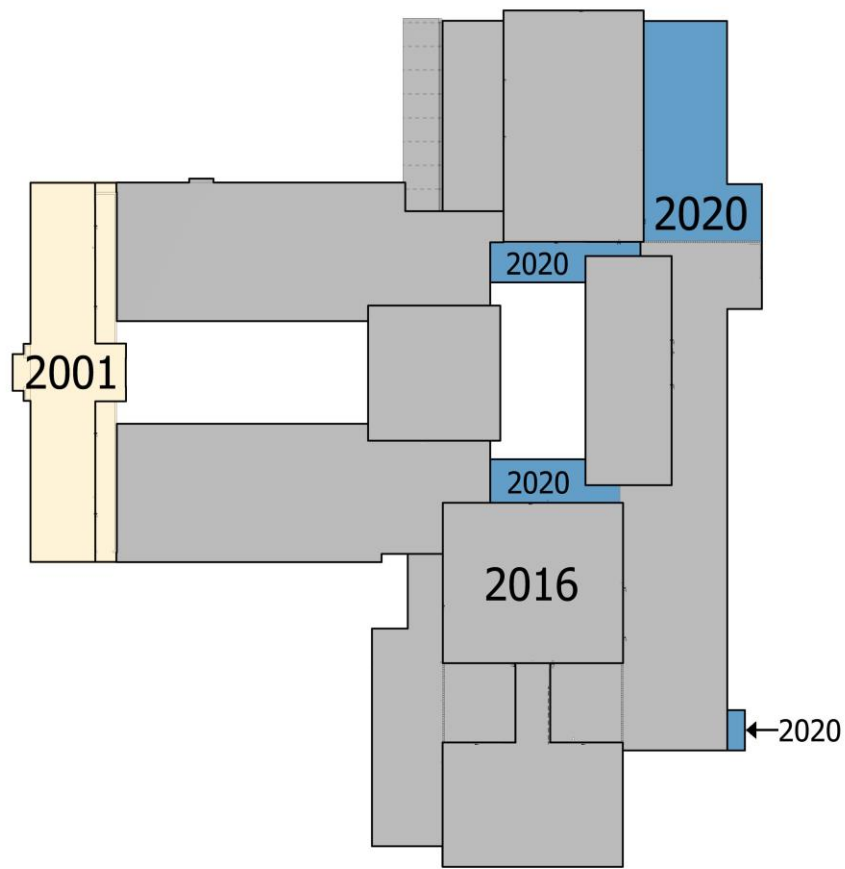
MS Locker Painting



MS Classroom (142) Floor

MAKING AN IMPACT - Roofs

High School:



Information

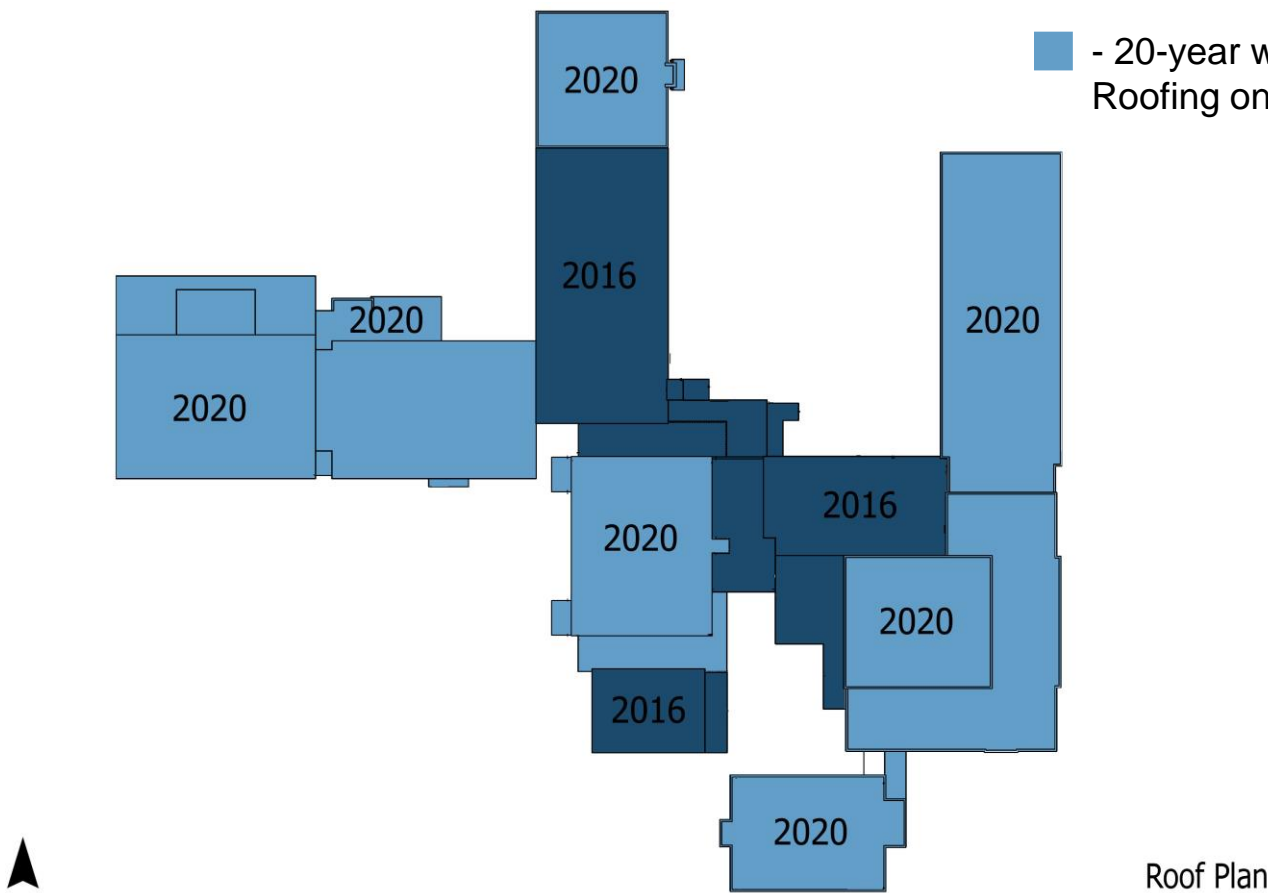
- 20-year warranty w/ Tremco Roofing on 2016 roofs.
- 2001 Generation Roofs in acceptable condition and under warranty.
- 20-year warranty w/ Tremco Roofing on 2020 roofs.

Roof Plan

MAKING AN IMPACT - Roofs

Intermediate/Middle School:

- Information**
- 30-year warranty w/ Tremco Roofing on 2016 roofs.
 - 20-year warranty w/ Tremco Roofing on 2020 roofs.

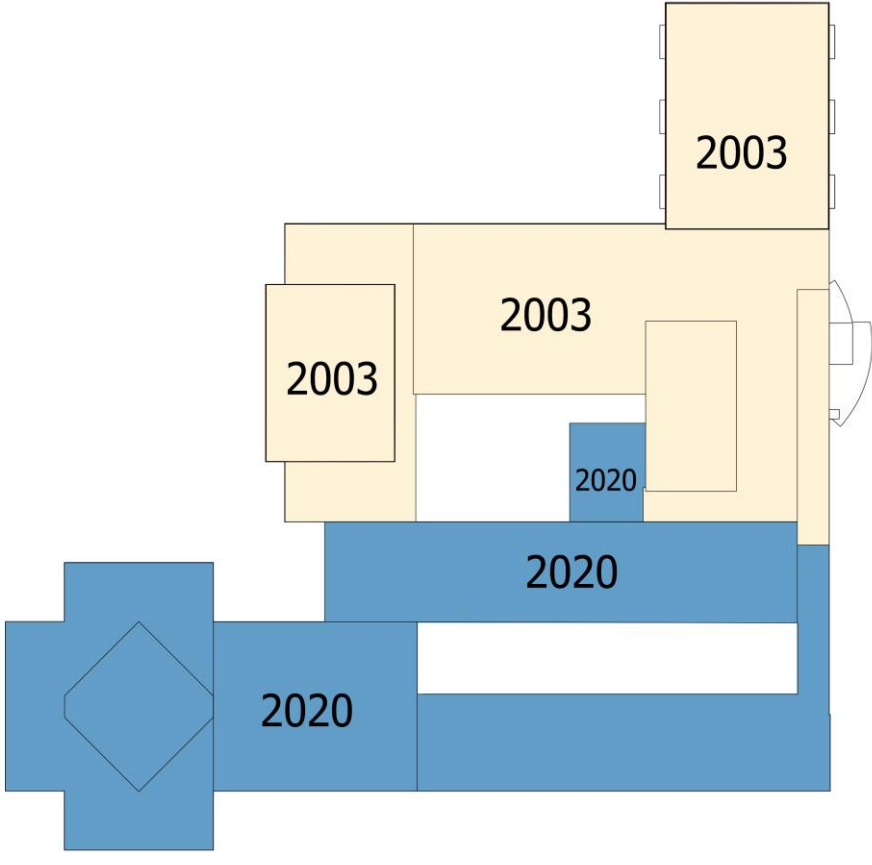


MAKING AN IMPACT - Roofs

Primary School:

Information

- 2003 Generation Roofs under warranty.
- 20-year warranty w/ Tremco Roofing on 2020 roofs.



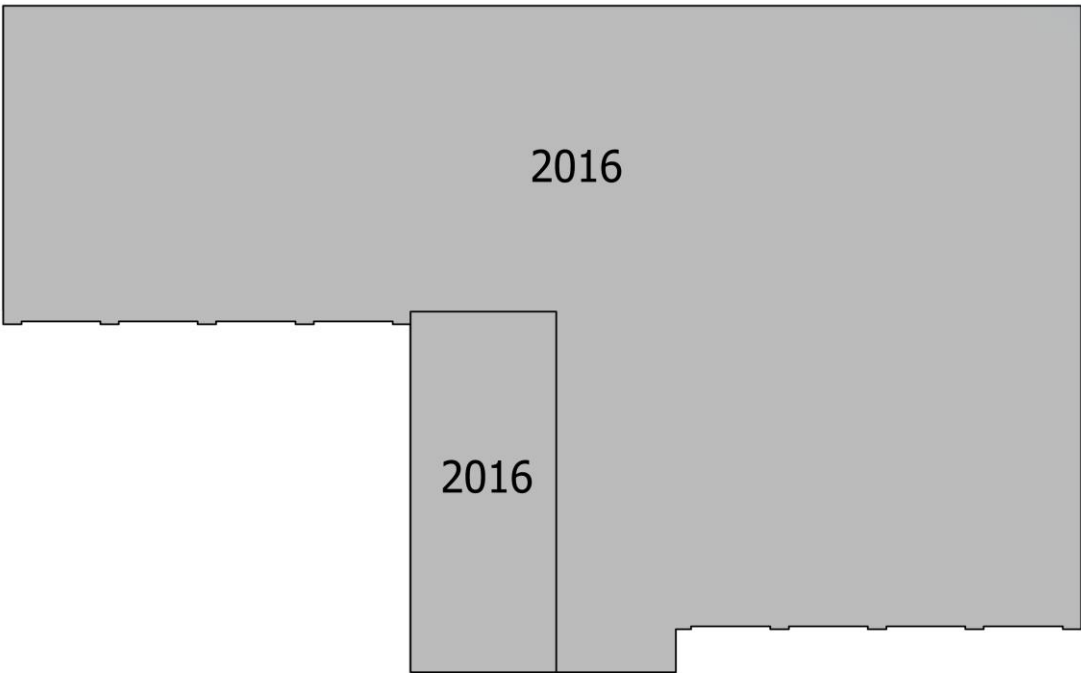
Roof Plan

MAKING AN IMPACT - Roofs

Bus Garage Roof Area:

Information

■ - 20-year warranty w/ Tremco
Roofing on 2016 roofs.



SUMMARY.... Since 2014

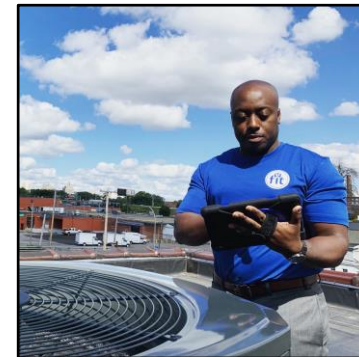
- 8 Phases of Capital Project Construction
- \$35 million in Capital Project investment
- \$534,000 from additional Pool Proposition returned to taxpayers!
- 9 Capital Outlay Projects



BUILDING CONDITIONS SURVEY

What is the Building Conditions Survey?

- State mandated review of all district buildings and facilities
- Completed every 5 years
- Must be performed by Architects and Engineers
- Our 'Blue Team' are the state-wide experts in completing Building Conditions Surveys



2021 ALDEN BCS



District Wide Results

Remaining Useful Life	Approximate Replacement Cost
1 Year +/-	\$944,500
3 Years +/-	\$2,880,000
5 Years +/-	\$23,127,420
7 Years +/-	\$1,660,000

2021 ALDEN BCS



For Comparison – 2015 to 2021

Remaining Useful Life	2021 Total Costs	2015 Total Costs
1 Year +/-	\$944,500	\$2,135,220
3 Years +/-	\$2,880,000	\$6,827,572
5 Years +/-	\$23,127,420	\$16,565,587
7 Years +/-	\$1,660,000	\$13,842,174

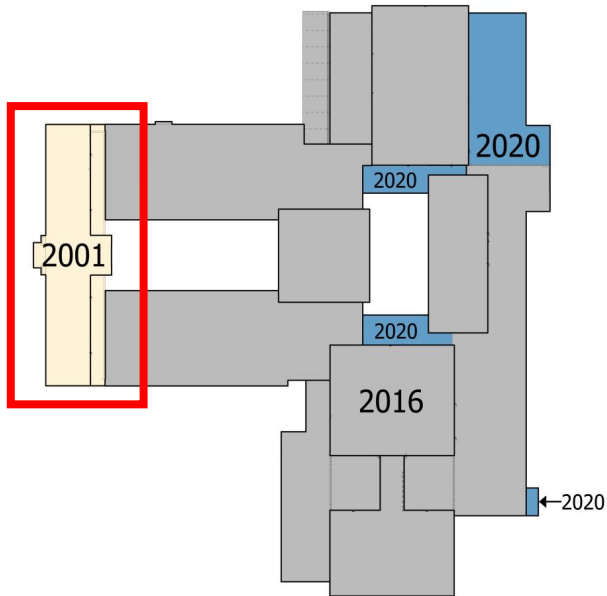
2021 ALDEN BCS



2021 ALDEN BCS

High School Items Identified in BCS:

- Window Replacement
- Fire Alarm System
- Parking Lots and Bus Loop
- Elevator Refurbishment
- Remaining Roof Areas



Roof Plan



2021 ALDEN BCS



Intermediate/Middle School Items Identified in BCS:

- Window Replacement
- Fire Alarm System
- Front Parking Lot
- Elevator Refurbishment
- Kitchen Renovations



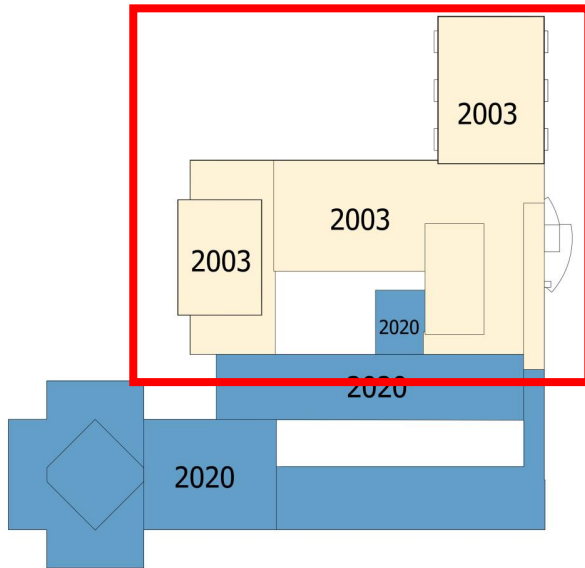
ALDEN CSD



2021 ALDEN BCS

Primary School Items Identified in BCS:

- Remaining Roof Areas
- Windows and Storefront Systems
- Classroom Doors
- Fire Alarm Systems



Roof Plan

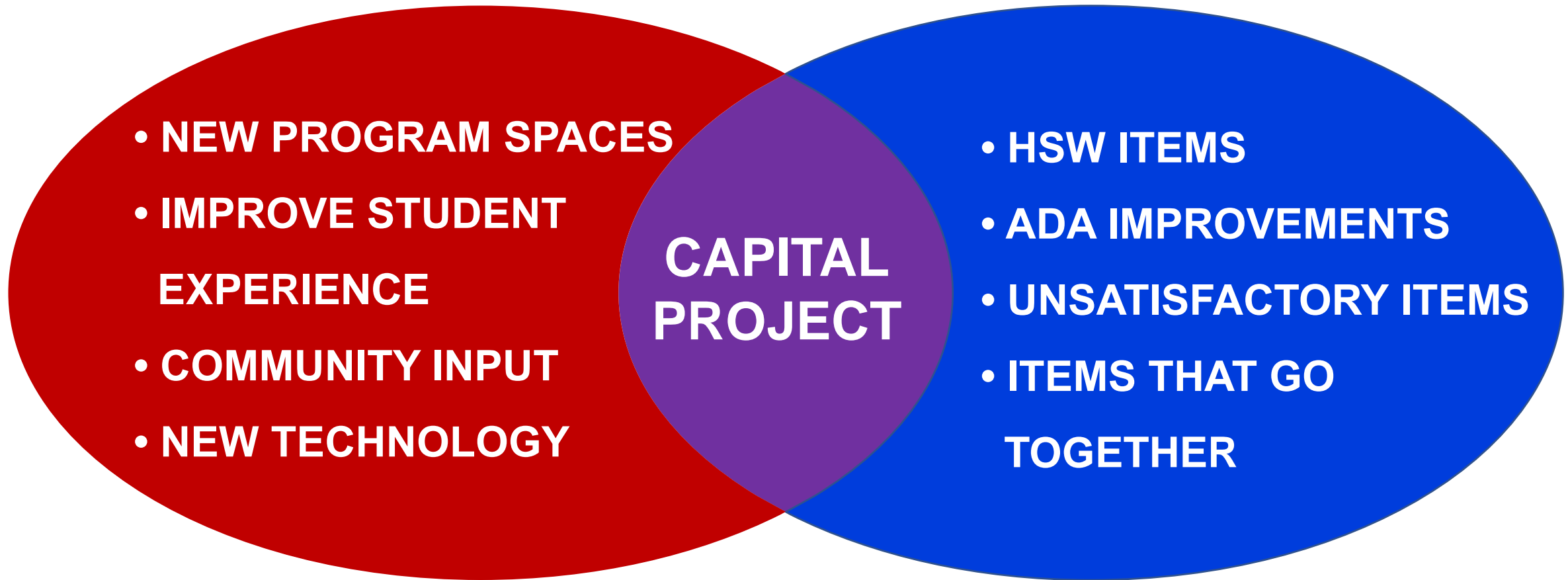




YOUR SECRET TO SUCCESS:

THE LONG TERM PLAN

LONG TERM PLANNING

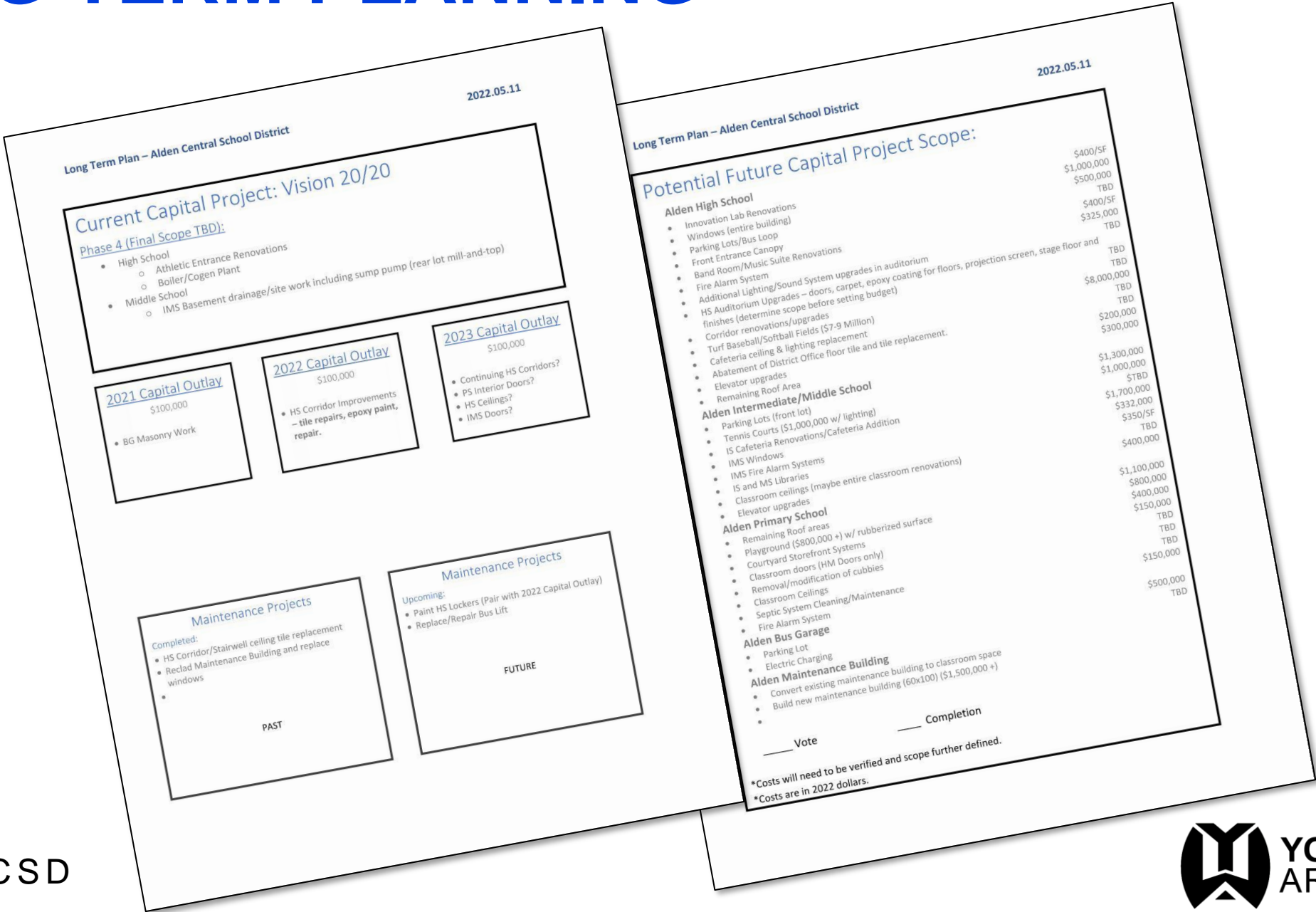


EDUCATIONAL NEEDS

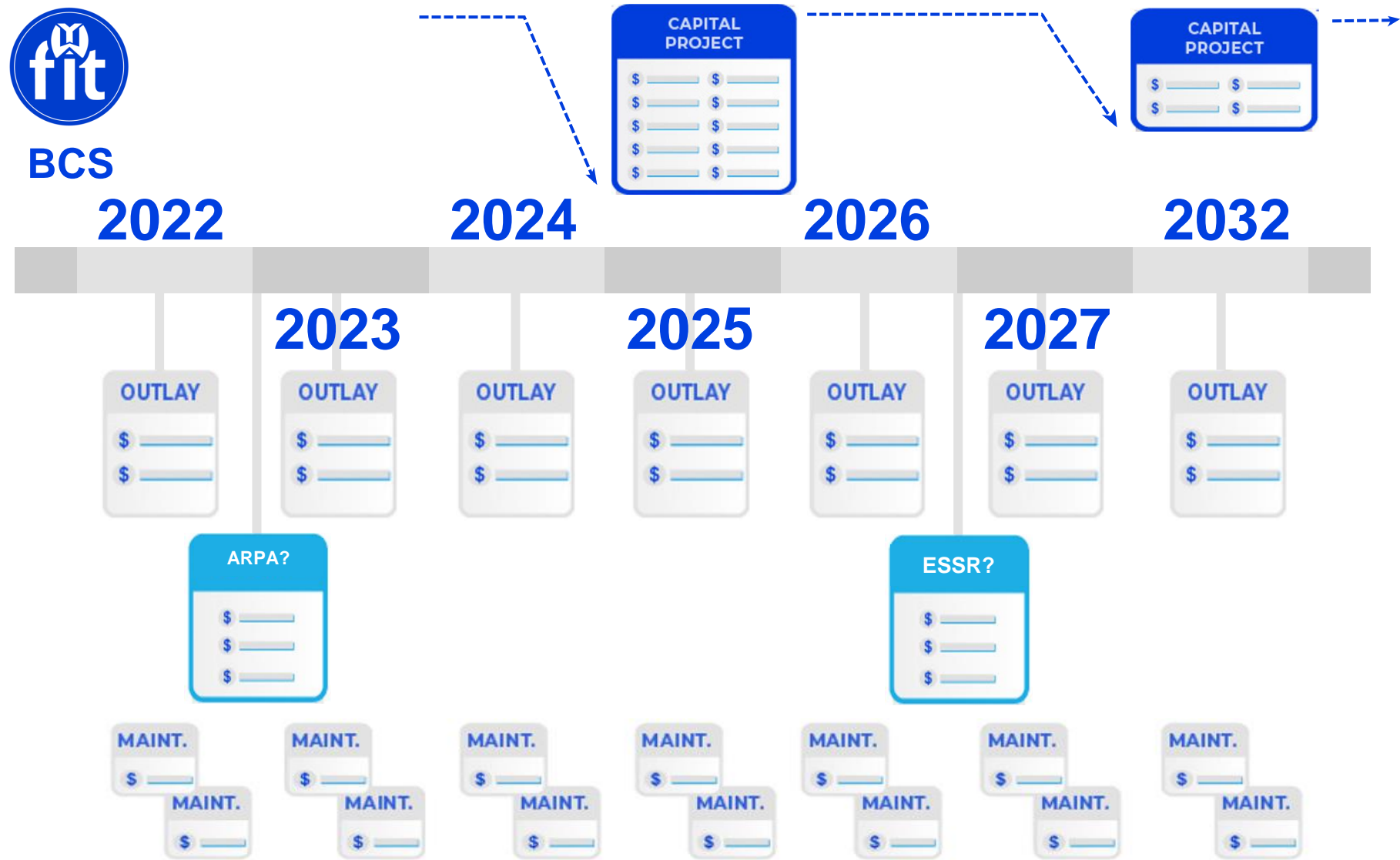


BCS NEEDS

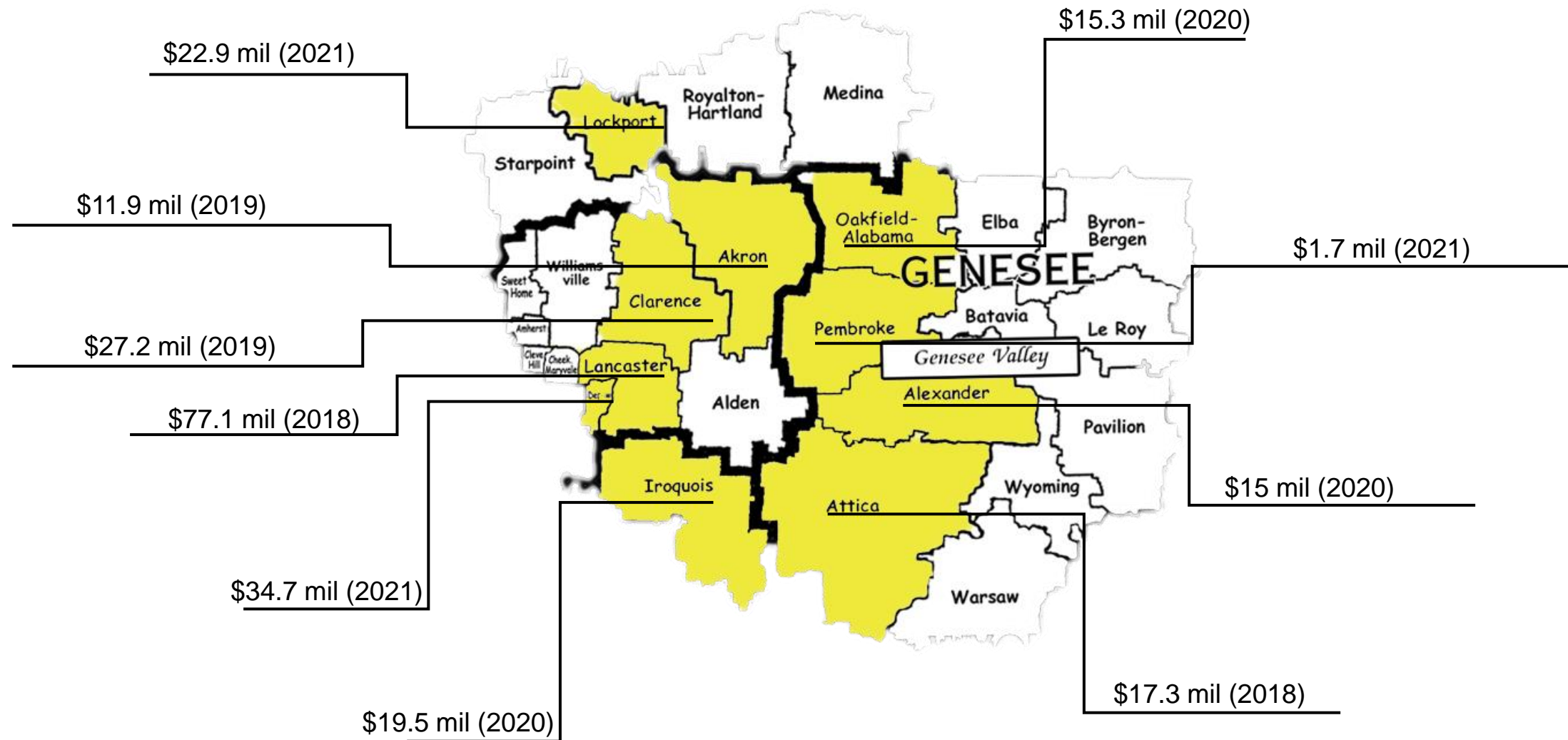
LONG TERM PLANNING



LONG TERM PLANNING



WHAT OUR NEIGHBORS ARE DOING



QUESTIONS & DISCUSSION